



PRE-CONSTRUCTION CHECK LIST FOR BUILDING PERMITS

PLAN-AHEAD - the following items must be completed, as outlined below, when submitting your building permit application. BE AWARE that if you do not live in a platted subdivision you will need to complete a Single Lot Subdivision Application. Upon approval of the Single Lot Subdivision application the approval process of your Building permit will begin. Once started it could take approximately 10 working days to review & approve your Building plans, even if you have ALL the required information. An incomplete application may cause further delay.

- **Building permit.** Building permit fees are based on square footage and the type of construction (i.e. garage, residence, shed, carport). **A Deposit is due upon submittal.** Two sets of detailed plans and supporting documents (Engineering Calculations) and truss designs are required before approval of permit.
- **Plans:** **Call office to see if Engineering is required based on the area of the project**
- **Site Plan Review** will be conducted on each and every building permit to determine if the building or construction can meet the current Fremont County Development Code requirements. A \$50.00 fee will be charged for the site plan review. **You must bring in documentation showing that there are NO deed restrictions on the parcel of ground.**
- There are two different ways to comply with the Energy Code. (1) would be to complete a rescheck at www.energycodes.gov and submit to our office. (2) would be to use the Prescriptive Path and Insulate your house to the values listed below.

Climate Zone	Ceiling R-value	Wood Frame wall R- value		Floor R-value	Basement and Crawl Space Wall R-value		Unheated Slab*	
					Continuous	Cavity	R-value	Depth (ft.)
6	49	20	20 or 13+5**	30	10	13	10	4

** "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25% of exterior, R-5 sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25% of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
 *R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less, in zones 1 through 3 for heated slabs.

- If community sewer (**Island Park/ Mack's Sewer System or Last Chance / Pond's Sewer System**) is available to your building in I.P. /Mack's Sewer or Last Chance/Pond's Sewer system areas, a hook up fee of \$6,140 must be paid prior to building permit approval. These fees must be paid at the Fremont County Treasurer's Office. A COPY of the receipt is needed upon submittal.
- If you will be placing an **individual septic system**, you will need to complete a sewer application with Eastern Idaho Public Health District. A COPY of the receipt is needed upon submittal.
- If you are building in a **subdivision**, please **check the covenants** (if recorded) for any requirements such as, property setbacks. Also a letter from the architecture board may be required prior to permit approval.
- If a new access to a County Road or Highway is being built a **Driveway Permit** will be required thru the Public Works Dept. or ITD. (Just because a building Permit for new construction has been approved thru the county does not mean the county will be maintaining the roads to your property. (Signature sheet attached)).
- Building Height-As per Fremont County Ordinance buildings are not to exceed 30 feet unless they are accessory structures then they are not allowed to exceed 25 feet.
- Building Permits should be posted on the construction site when the project is started, and should remain on site until final inspection and occupancy is granted.

Building Permit Application

One-and Two-Family Dwelling



Fremont County

125 N. Bridge Street, St. Anthony, ID. 83445
 Phone: 208.624.4643 Fax: 208.624.1320
 Internet: www.co.fremont.id.us

FOR OFFICE USE ONLY	
Received By/Date:	Permit #:
Plan Review/Date:	Site Plan Approval/Date:
Date Picked up:	Dist:

JOB SITE INFORMATION		
Name:		
Property Address:		
City /Zip:		
Parcel #:		
Subdivision:		
Lot:		Block:
Section:	Township:	Range:
TYPE OF WORK		
<input type="checkbox"/> New construction	<input type="checkbox"/> Commercial	
<input type="checkbox"/> Addition/alteration	<input type="checkbox"/> Residential	
<input type="checkbox"/> PROPERTY OWNER	<input type="checkbox"/> TENANT	
Name:		
Address:		
City/State/Zip:		
Phone: ())		
Cell: ())		
Email:		
<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> APPLICANT	
Business Name:		
Contact Name:		
State Reg. #:		
Address:		
City/State/Zip:		
Phone: ())		
Cell: ())		

Choice of Contact:

<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> APPLICANT
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I hereby certify that I have chosen to use the Prescriptive way of Energy Code Compliance.

Authorized signature: _____

*I hereby certify that I understand the just because a building permit has been applied/approved on my property through the county does **NOT** mean the county will be maintaining the roads to my property.*

Authorized signature: _____

I hereby certify that the information above is true and correct. All work to be performed shall be in accordance with all governing laws and rules.

Authorized signature: _____

Print name:	Date:
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REQUIRED INFORMATION	
Permit fees are based on the valuation calculated using the amount of proposed constructed area.	
Living Area:	square feet
Basement area:	square feet
Garage/Shop area:	square feet
Deck/Porch/Carport area:	square feet
Other structure area:	square feet
Building Valuation:	
Septic Permit Number:	
IMPORTANT INFORMATION	
<p>***ALL STRUCTURES BUILT IN AN AREA WITH A $\geq 70\text{lb/ft}^2$ SNOW LOAD ARE REQUIRED TO BE DESIGNED BY AN ENGINEER OR ARCHITECT THAT IS LICENSED IN THE STATE OF IDAHO.***</p> <p>***ALL FREE STANDING POST & BEAM STRUCTURES REQUIRE ENGINEERED STAMPED PLANS.***</p>	
OFFICE USE ONLY	
<input type="checkbox"/> Res-check attached <input type="checkbox"/> Prescriptive <input type="checkbox"/> Addressing <input type="checkbox"/> Site Plan <input type="checkbox"/> Fees Paid <input type="checkbox"/> Septic/Sewer <input type="checkbox"/> Driveway permit <input type="checkbox"/> HO (if applicable)	
BUILDING PERMIT FEES	
Date Paid: _____ Deposit Due:	
<input type="checkbox"/> Cash <input type="checkbox"/> CC <input type="checkbox"/> Check #	
Date Paid: _____ Balance Due:	
Site Plan Review Fee (included if applicable)	
<input type="checkbox"/> Cash <input type="checkbox"/> CC <input type="checkbox"/> Check #	
TOTAL BUILDING PERMIT FEE:	
<p>*** This permit application expires if the permit is not obtained within 180 days after it has been approved. ***</p>	

Zoning Questionnaire

Please complete the following questions to assist providing information for the zoning review to be conducted on your building permit.

- 1) Will your proposed development disturb a cumulative total of more than 1 acre of land with a slope of more than 8%, *or* create more than 20,000 square feet of impervious surface? ___yes ___no. If so, a professionally prepared runoff and erosion control plan is required.
- 2) Does your property contain wetlands or a spring? ___yes___no **If you answered yes, wetlands delineation may be required and discussion with Planning & Zoning staff is required.**
- 3) Will your proposed structure be located in a floodplain area ___yes ___no, or next to a stream corridor (i.e. river, canal, creek, and stream)? ___yes___no. Name of river, canal, creek _____. Construction near streams will be subject to minimum setbacks from the stream corridor. If Construction is allowed in a floodplain a surveyor's certificate of elevation is required.
- 4) Will your proposed structure be located on a slope? ___15 to 30%___30%+. Development on slopes of 30% or more, or other slopes identified as unstable, will require a geotechnical engineer's certificate that the development creates no significant hazard of slope failure or accelerated soil erosion.
- 5) Are you keeping the native vegetation on the property? ___ yes ___ no
- 6) Does this property include or border irrigated lands or irrigation works? ___yes ___no. If so, you will be required to check with the Fremont-Madison Irrigation Company, St. Anthony, Idaho (208-624-3381) to discuss water shares, canal maintenance requirements, or canal crossing.
- 7) Will you be conducting a home business from this structure? ___yes ___no. If so you may be required to obtain additional permits. Please indicate the type of home based business you are or will be conducting _____.
- 8) The County regulations allow a home a 30 foot building height measured at the eave, and accessory structures a 25 foot building height measured at the eave. Some areas are allowed a lesser or greater height based on fire fighting capabilities, as determined by the Fire District.
What is the height of your proposed building? _____
- 9) Will you be installing an individual sewer system? ___ yes ___no. Will you be connecting to a community (i.e. city or public) sewer system? ___ yes ___ no. If yes which one _____
- 10) Will you be providing an individual well for drinking or potable water? ___ yes ___ no. Will you be connecting to a community (public) water system? ___ yes ___ no. If yes which one _____
- 11) Can the utility company provide access for power to your building? ___ yes ___ no
- 12) Does the utility company have the capability to bring power to your property? ___ yes ___ no
- 13) Utilities provided to your property must be underground _____ I agree

